



CYNGOR
Sir Ddinbych
Denbighshire
COUNTY COUNCIL

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Denbighshire County Council
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Denbigh
Denbighshire LL16 3RJ

Tel: 01824 706800 Fax: 01824 706709

Heading:

REFERENCE NO. 46/2012/0167/PF
Talardy Park Hotel,
The Roe, St Asaph

25



Application Site

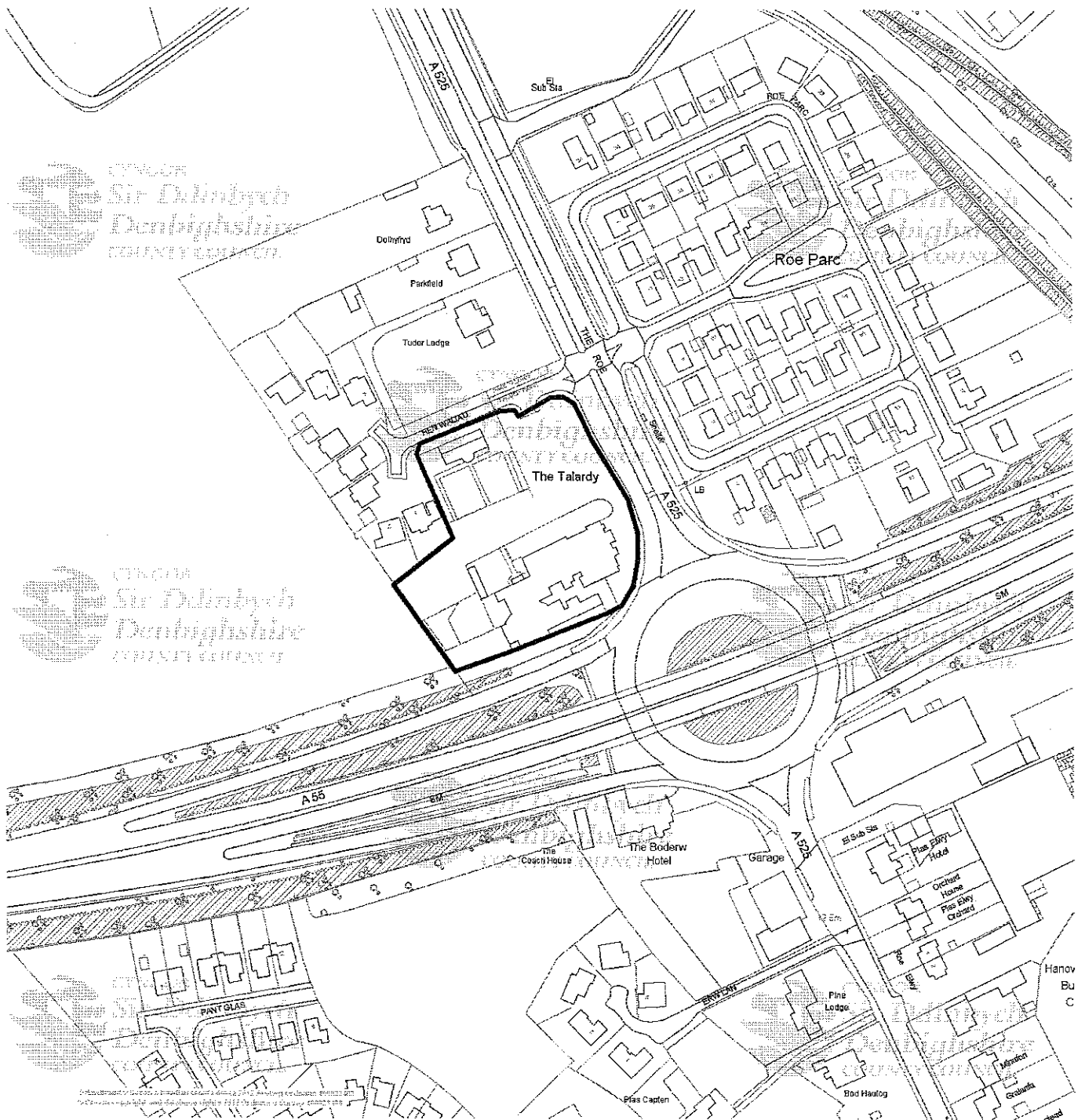


Date 23/8/2012

Scale 1/2500

Centre = 303111 E 374808 N

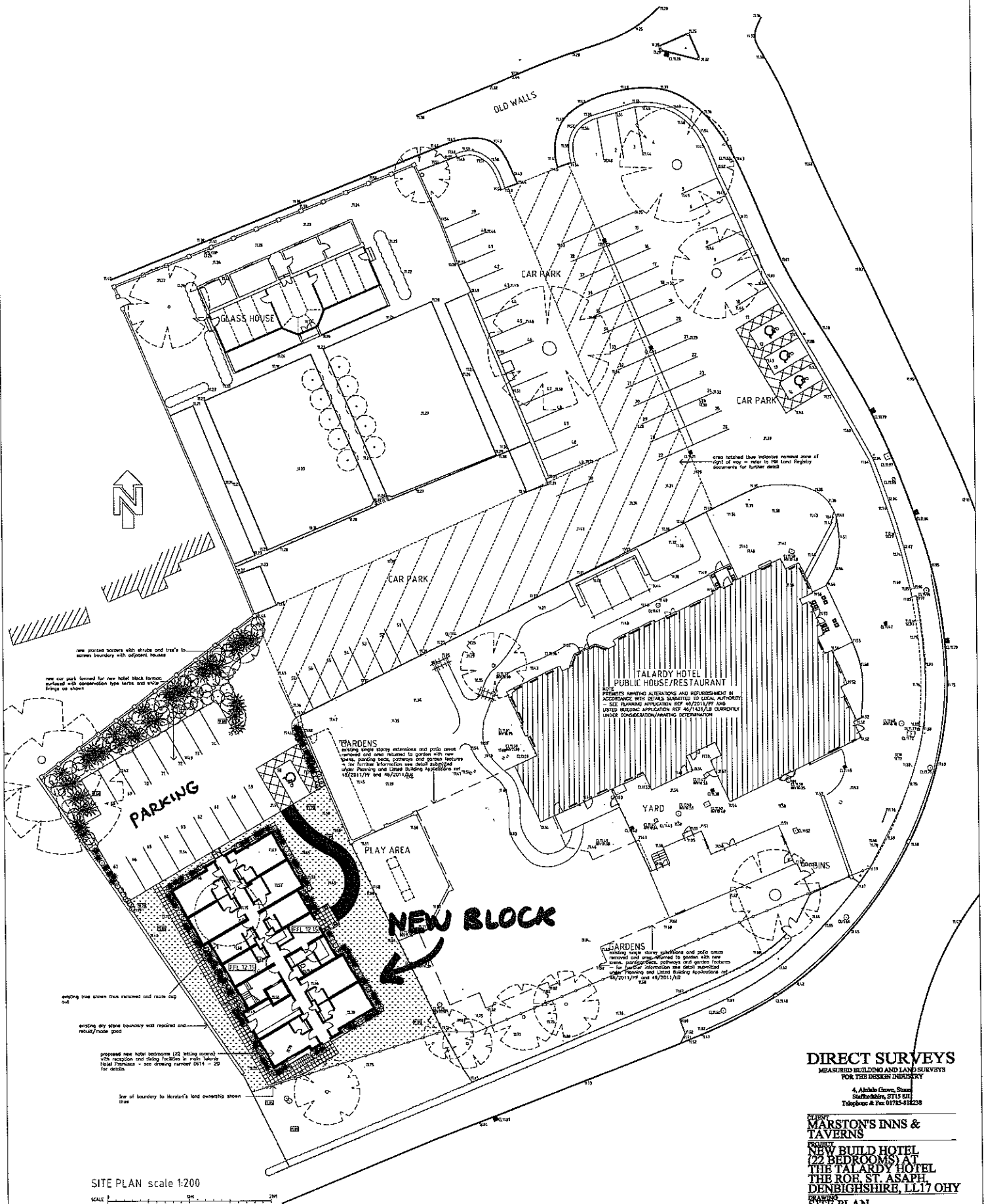
This plan is intended solely to give an indication of the LOCATION of the application site which forms the subject of the accompanying report. It does not form any part of the application documents, and should not be taken as representative of the proposals to be considered, which are available for inspection prior to the meeting.



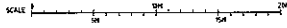
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PROPOSED SITE PLAN



SITE PLAN scale 1:200



DIRECT SURVEYS
MEASURED BUILDING AND LAND SURVEYS
FOR THE DESIGN INDUSTRY

4, Abrials Grove, Suan
Sturminster Newton, Dorset, DT10 1JH
Telephone: 01707 411228

MARSTON'S INNS & TAVERNS

PROJECT
NEW BUILD HOTEL (122 BEDROOMS) AT THE TALARDY HOTEL THE ROE, ST. ASAPH, DENBIGHSHIRE, LL17 0HY

DATE
1 AUG 2011

SCALE
1:200

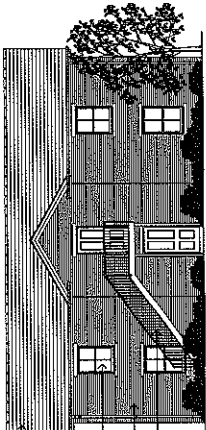
NUMBER
0614 - 21

ELEVATION & FLOOR PLANS

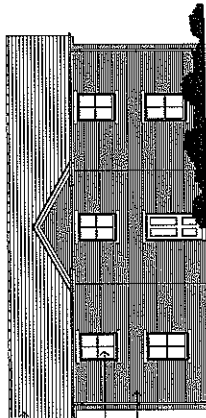
DIRECT SURVEYS
 MEASUREMENT BUILDING AND LAND SURVEYS
 FOR THE DESIGN INDUSTRY
 4, Middle Green, Street,
 Northampton, NN1 1BT
 Telephone: 01603 711155

WILKINSON'S INNS & TAVERNS
 NEW BUILD HOTEL
 22 BEDROOMS AT
 THE TALARD HOTEL
 THE ROSE, ST. ASAPH,
 DENBIGHSHIRE, LL17 0BY
**FLOOR PLANS AND ELEVATIONS
 PROPOSED**

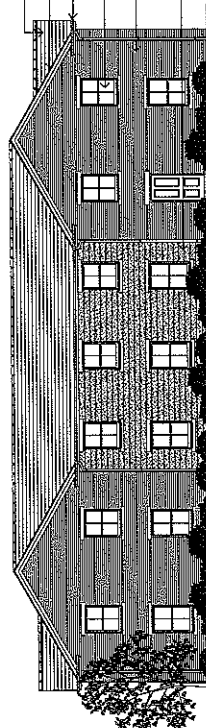
NOV 2010
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 NUMBER 0614 - 20
 AMENDMENT



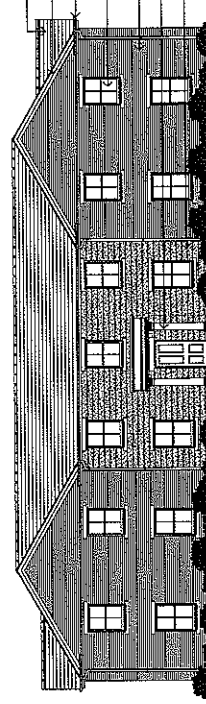
SOUTH EAST ELEVATION



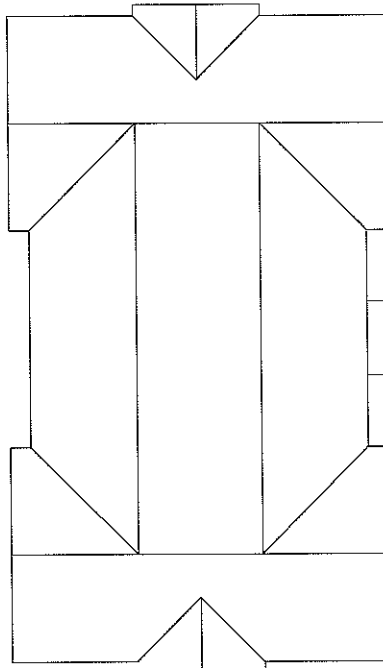
NORTH WEST ELEVATION



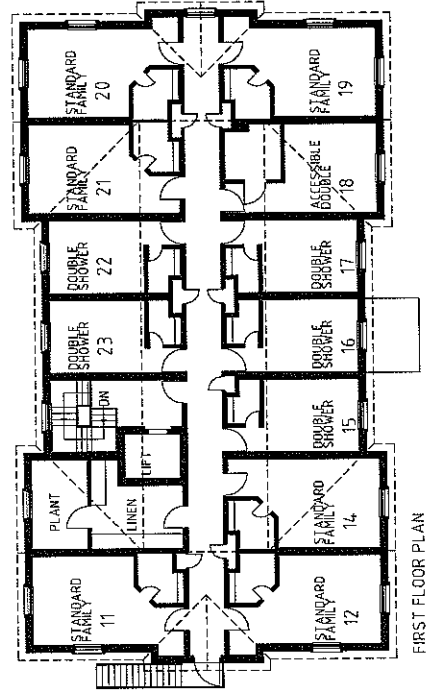
SOUTH WEST ELEVATION



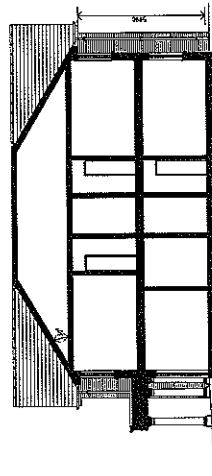
NORTH EAST ELEVATION



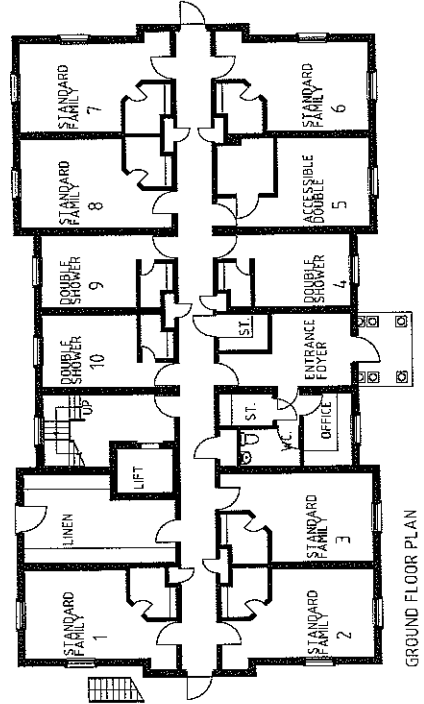
ROOF



FIRST FLOOR PLAN



SECTION



GROUND FLOOR PLAN

ITEM NO: 25

WARD NO: St Asaph West

APPLICATION NO: 46/2012/0167/ PF

PROPOSAL: Erection of two-storey block at rear of hotel to provide visitor accommodation with associated car parking and landscaping

LOCATION: Talardy Park Hotel The Roe St. Asaph

APPLICANT: Marstons Plc

CONSTRAINTS: C2 Flood Zone
Within 67m Of Trunk Road
Tree Preservation Order
Listed Building
Groundwater Vulnerability 1
EA Floodmap Zone 2

PUBLICITY UNDERTAKEN: Site Notice - Yes
Press Notice - Yes
Neighbour letters - Yes

**REASON(S) APPLICATION REPORTED TO COMMITTEE:
Scheme of Delegation Part 2**

- Recommendation to grant / approve – 4 or more objections received

CONSULTATION RESPONSES:

ST ASAPH CITY COUNCIL
"No objections."

WELSH WATER / DWR CYRMU
No objection.

ENVIRONMENT AGENCY WALES
No objection, subject to conditions and note to applicants.

DENBIGHSHIRE COUNTY COUNCIL CONSULTEES
HEAD OF HIGHWAYS AND INFRASTRUCTURE
No objection, subject to condition requiring the retention of the parking area.

BUSINESS AND TOURISM OFFICER
No objection, proposal provides much needed accommodation in the catchment area of the Business Park.

CONSERVATION OFFICER
No objection, proposal would not have a detrimental impact on the character and appearance of the Listed Talardy Hotel or Greenhouse buildings.

RESPONSE TO PUBLICITY:

In objection

Representations received from:

Mr. & Mrs. Wilson, 1, Hen Waliau, St. Asaph

Mr. & Mrs. A. Gregory, 8, Hen Waliau, St. Asaph

Mr. & Mrs. P. Simpson, 4, Hen Waliau, St. Asaph

Hill Dickinson on behalf of A. Williams, 2, Hen Waliau, St. Asaph

Summary of planning based representations:

Highways impacts- increased traffic flow, requirement for parking.

Amenity impacts- overlooking.

Impact on the character and appearance of the Listed Building.

Floodrisk- site is in a flood risk area.

EXPIRY DATE OF APPLICATION: 28/08/2012

REASONS FOR DELAY IN DECISION (where applicable):

- protracted negotiations resulting in amended plans
- re-consultations / further publicity necessary on amended plans and / or additional information

PLANNING ASSESSMENT:

1. THE PROPOSAL:

1.1 Summary of proposals

- 1.1.1 The application proposes the erection of an accommodation block at the Talardy Hotel, St Asaph. It would be sited to the west (rear) of the existing hotel, with parking proposed to the northwest.
- 1.1.2 The accommodation block has been designed to reflect the character and appearance of the listed building. It would have a brick and render finish with slate roof.
- 1.1.3 The accommodation block would comprise of 22 bedrooms with en suites and service space.
- 1.1.4 The application site includes the Talardy Hotel, therefore access would be as existing. Parking provision is proposed for 18 spaces.
- 1.1.5 The application submission includes the following documents:
 - Design and Access Statement (DAS) which refers to the site context and constraints, accessibility, character, community safety and environmental sustainability.
 - Flood Consequence Assessment.

1.2 Description of site and surroundings

- 1.2.1 The application site is located on the northern side of junction 27 of the A55. It is bounded to the south by the A55 slip road and to the north by the residential estate of Hen Waliau. To the east is the A525 and to the west is agricultural land.
- 1.2.2 It is a flat site, with established landscaping to the south and northern sides which was used formally as a play area and overspill parking area. The site has recently been fenced off. The erection of the fencing coincided with the recent re-opening of the hotel.

1.3 Relevant planning constraints/considerations

- 1.3.1 The site is located within the development boundary of St Asaph. The Talardy Hotel is a Grade II Listed Building of mid c19 origin, which has recently

undergone refurbishment. This refurbishment included the demolition of a poor quality function room extension and substantial repairs of the Grade II Listed Greenhouse.

- 1.3.2 Under the development advice maps of TAN 15 Development and Flood Risk the site is within zone C1 (areas of floodplain without significant infrastructure, including flood defences).

1.4 Relevant planning history

- 1.4.1 The site has had the benefit of planning permission in the past for a three storey accommodation block on the same site. This application was renewed most recently in 2000.

1.5 Developments/changes since the original submission

- 1.5.1 The design of the scheme has been amended since in original submission in February 2012.

1.6 Other relevant background information

- 1.6.1 None.

2. DETAILS OF PLANNING HISTORY:

- 2.1 2/APH/431/94 – Erection of hotel accommodation comprising 21 no. self catering apartments and car park. GRANTED 2 June 1995.
2.2 2/APH/432/94/P – Residential development of 8 no. houses and new access road (outline) (adjoining site to the north) GRANTED 5 December 1995
2.3 46/2000/0463/PF Renewal of planning permission reference 2/APH/431/94 for erection of hotel accommodation comprising 21 No. self-catering apartments, formation of car park and alterations to vehicular access. Granted 27/07/2000

3. RELEVANT POLICIES AND GUIDANCE:

The main planning policies and guidance are considered to be:

3.1 DENBIGHSHIRE UNITARY DEVELOPMENT PLAN (adopted 3rd July 2002)

- Policy GEN 1 – Development within development boundaries
- Policy GEN 6 – Development control requirements
- Policy ENV 7 – Landscape/townscape features
- Policy ENP 6 – Floodrisk
- Policy CON 1 – The setting of listed buildings
- Policy TSM1 – Tourism development

3.2 GOVERNMENT POLICY GUIDANCE

- TAN 15: Development & Flood Risk
- Planning Policy Wales Edition 4

4. MAIN PLANNING CONSIDERATIONS:

4.1 The main land use planning issues are considered to be:

- 4.1.1 Principle
- 4.1.2 Impact on visual amenity
- 4.1.3 Impact on residential amenity
- 4.1.4 Impact on highway safety
- 4.1.5 Floodrisk

4.2 In relation to the main planning considerations:

4.2.1 Principle

The principle of development on the site accords with Policy GEN 1, as the site is located within the development boundary of St Asaph. Policies GEN 1

and TSM 1 support the principle of development including tourism development within development boundaries.

Policy TSM 1 permits tourism development within development boundaries using vacant, redundant or under used sites providing; the proposal would be small scale and ancillary to an existing tourism establishment and well related to existing buildings, the proposal would be of a scale, type and character that would respect the site and its surroundings and that the proposal would not unacceptably harm specially designated areas. The proposed accommodation block would be ancillary to the Talardy Hotel, which is currently operated by Marstons Brewery with a public house and restaurant on the ground floor and 11 bedrooms on the first floor.

It is also noted that the principle of using this area of land for additional accommodation for the Talardy Hotel has been previously established by the original planning permissions granted in 1995 and again in 2000.

Policy GEN 6 is applied to assess the detailed impacts of this full planning application. These are considered under the relevant headings below.

4.2.2 Impact on visual amenity

Policy GEN 6 contains general considerations to be given to the visual impacts of new development. This criterion is also mentioned in policy TSM 1 and Policy CON 1 as this refers to the setting of listed buildings.

The application proposes a two storey accommodation block with a brick and render finish and slate roof. The primary elevations have gables facing the rear of the hotel (eastwards). The Talardy Hotel is a Georgian building with render finish and slate roof. The residential estate to the north of the accommodation block is a more modern brick finished estate. There are local concerns expressed over the detailing of the development, and the impacts on the listed building. The Conservation Officer has raised no objection to the proposal in terms of the impact on the Listed Building.

To facilitate the development one mature Willow tree would be removed; this is in the central area of the site. Other trees are proposed to be retained.

In Officers opinion the accommodation block is a relatively standard design, although it takes some reference from the existing building. The materials proposed would reflect the existing building and adjacent dwellings. It is not considered the proposal would significantly conflict with policy GEN 6 criteria relating to visual amenity or CON 1, the setting of the listed building.

4.2.3 Impact on residential amenity

Policy GEN 6 sets specific tests to be applied to amenity impacts of development.

Windows are proposed in all elevations of the accommodation block. Around the accommodation block there would be some open space with soft landscaping. There would be screening on the northern boundary to supplement the existing brick walls which have a minimum height of 1.8 metres. There are objections from neighbours in respect of potential overlooking.

Although the accommodation block would be two storey and would have windows on the northern side, there would be 21 metres between the north side elevation and the brick wall on the northern boundary of the site, on an area where the carpark is proposed. There would be a further 10 metres at least to the rear elevations of the two dwellings facing the application site on

Hen Waliau. Owing to this level of separation it is the opinion of Officers that the proposal would not have a significant impact on the amenity of the occupiers of Hen Waliau by virtue of overlooking or overbearing impact. It is not considered the proposal would conflict with GEN 6 criteria relating to residential amenity.

4.2.4 Impact on highways safety

Policy GEN 6 and TRA 6 and TRA 9 require consideration of access and highway safety issues.

The proposal includes 18 parking spaces to the north of the site on an open parking area. It is also to be noted that the accommodation block is linked to the Talardy Hotel carpark where there is 57 parking spaces. There are local concerns over additional traffic and parking implications.

Highways Officers have raised no objection to the proposal subject to the inclusion of planning conditions to control the retention of the parking area.

It is not considered there are policy conflicts relating to access and highway safety. The proposal complies with Policy GEN 6, Policy TRA 6 and Policy TRA 9.

4.2.5 Floodrisk

Policy ENP 6 Flooding states that development which would result in an unacceptable risk from flooding will not be permitted. TAN 15 is the Welsh Assembly's planning guidance note relating to flood risk. The aim of TAN 15 is to direct new development away from those areas which are at high risk of flooding, and to only permit development in high risk areas which can be justified on the basis of the tests outlined in the TAN.

The site is located within a C2 flood zone, which is an area of the floodplain without significant flood defence infrastructure. The TAN advises that highly vulnerable development should not be considered in C2 flood zones. However as the application proposes an extension to an existing hotel the development should be considered subject to application of justification tests, including acceptability of the consequences. There are local concerns over the flooding implications of the development.

The basis of guidance is that development may be acceptable if it can be demonstrated that; the location is necessary to assist, or be part of, a local authority regeneration initiative or strategy to sustain an existing settlement; or the location is necessary to contribute to key employment objectives supported by the Local Planning Authority to sustain an existing settlement. In order for a development to be considered as an exception, the site must also meet the definition of previously developed land, as per the Planning Policy Wales definition. The most relevant elements of this definition are that previously developed land includes land which is or was occupied by a permanent structure and associated fixed surface infrastructure (excluding agricultural or forestry buildings) and land where the remains of any structure or activity have blended into the landscape over time so that they can reasonably be considered part of the natural surroundings. Finally a Flood Consequence Assessment (FCA) is required to be submitted to support an application, to explore the potential consequences of a flooding event for the particular type of development proposed. A FCA has been submitted and the Environment Agency have raised no objections to its contents.

It is Officers opinion in relation to the exception tests that the development is 'justified'. The site is located within a defined development boundary and is on

part of an existing hotel site previously used as car-parking and a play area. Officers of the Environment Agency have considered the submitted FCA and they have not objected to the proposal, suggesting a condition relating to floor levels be attached and notes to Applicant be included in any decision. Having regard to the advice of the Environment Agency in relation to flooding issues, this demonstrates that the proposal complies with policies ENP 6 and TAN 15 in terms of flood risk.

5. SUMMARY AND CONCLUSIONS:

5.1 It is the opinion of Officers that the proposal is acceptable within the terms of the relevant policies and is therefore recommended for grant.

RECOMMENDATION: GRANT- subject to the following conditions:-

1. The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
2. **PRE-COMMENCEMENT CONDITION**
Prior to the commencement of the development, the written approval of the Local Planning Authority shall be obtained in respect of the walls and roof materials to be used for the development hereby permitted and no materials other than those approved shall be used.
3. All planting, seeding, turving, fencing, walling or other treatment comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the completion of the development and any trees or plants which, within a period of five years of the development, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
4. All trees and hedges to be retained as part of the development hereby permitted shall be protected during site clearance and construction work by 1 metre high fencing erected 1 metre outside the outermost limits of the branch spread, or in accordance with an alternative scheme agreed in writing by the Local Planning Authority; no construction materials or articles of any description shall be burnt or placed on the ground that lies between a tree trunk or hedgerow and such fencing, nor within these areas shall the existing ground level be raised or lowered, or any trenches or pipe runs excavated, without prior written consent of the Local Planning Authority.
5. Facilities shall be provided and retained within the site for the loading/ unloading, parking and turning of vehicles in accordance with the approved plan and which shall be completed prior to the development being brought into use.
6. Finished floor levels should be set at a minimum level of 12.15m AOD i.e. 350mm above highest existing ground level at the location at the location of the proposed extension.

The reason(s) for the condition(s) is(are):-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. In the interests of visual amenity.
3. To ensure a satisfactory standard of development, in the interests of visual amenity.
4. In order to ensure that trees and hedges to be retained are not damaged by building or engineering works.
5. To provide for the loading/ unloading, parking and turning of vehicles and to ensure that reversing by vehicles into or from the highway is rendered unnecessary in the interest of traffic safety.
6. To reduce the risk of flooding to the building.

NOTES TO APPLICANT:

Your attention is drawn to the attached Highway Supplementary Notes Nos. 1, 3, 4, 5 & 10.
Your attention is drawn to the attached Part N form (New Road and Street Works Act 1991).
Environment Agency Notes

You are advised that a Flood Warning and Evacuation Plan should be drawn up for the whole site. Please contact Rachel Cooper of the Environment Agency Flood Incident Management Team on 01244 894527 or Rachel.Cooper@environment-agency.gov.uk who can assist further and advise on preparing a suitable flood plan. To sign up for a flood warning service provided by the Environment Agency, you should call the Floodline Warning Direct, 0845 988 1188.

Please contact the councils Emergency Planning section should you require further advice in relation to flood emergency response and evacuation procedures.

